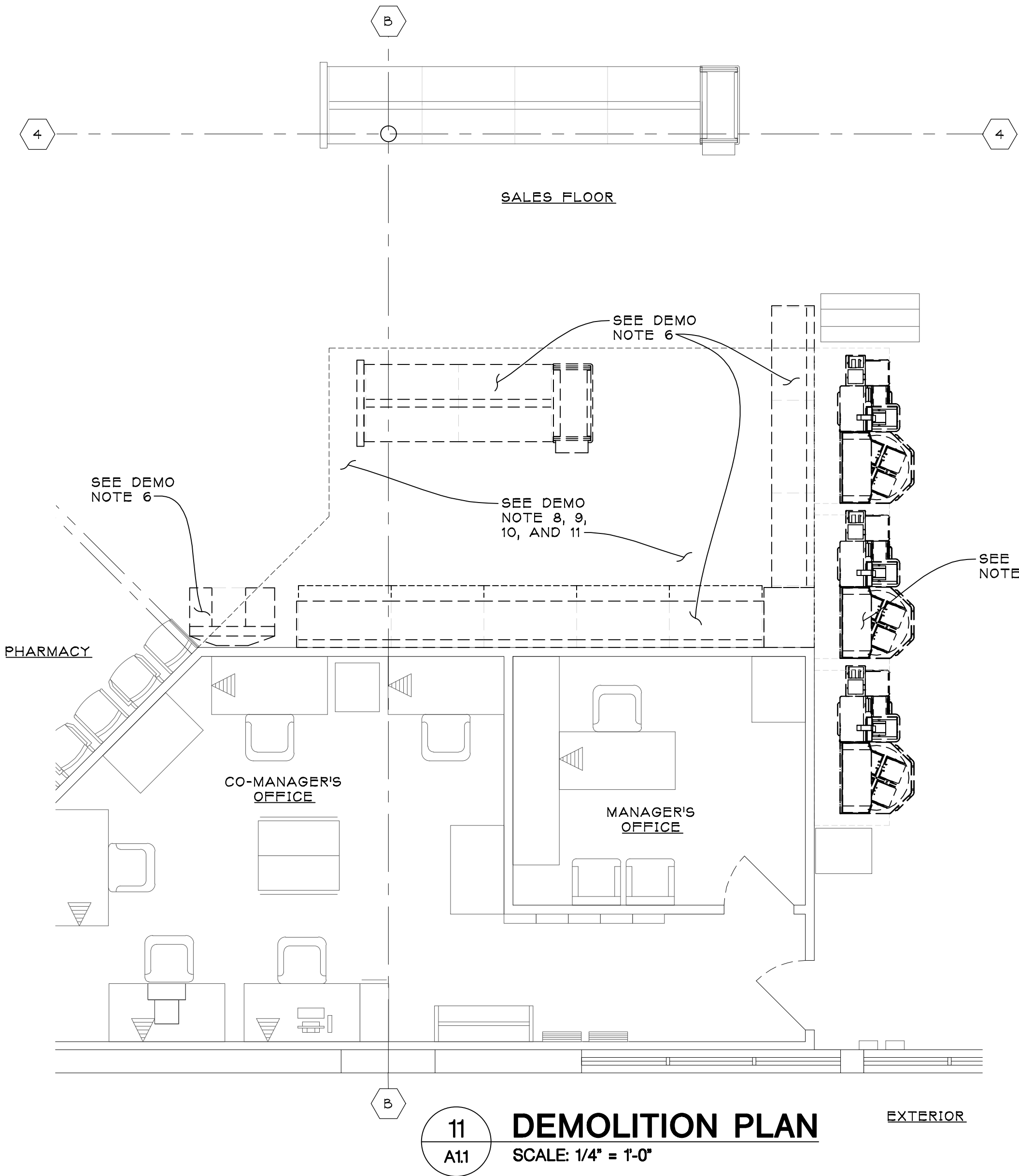


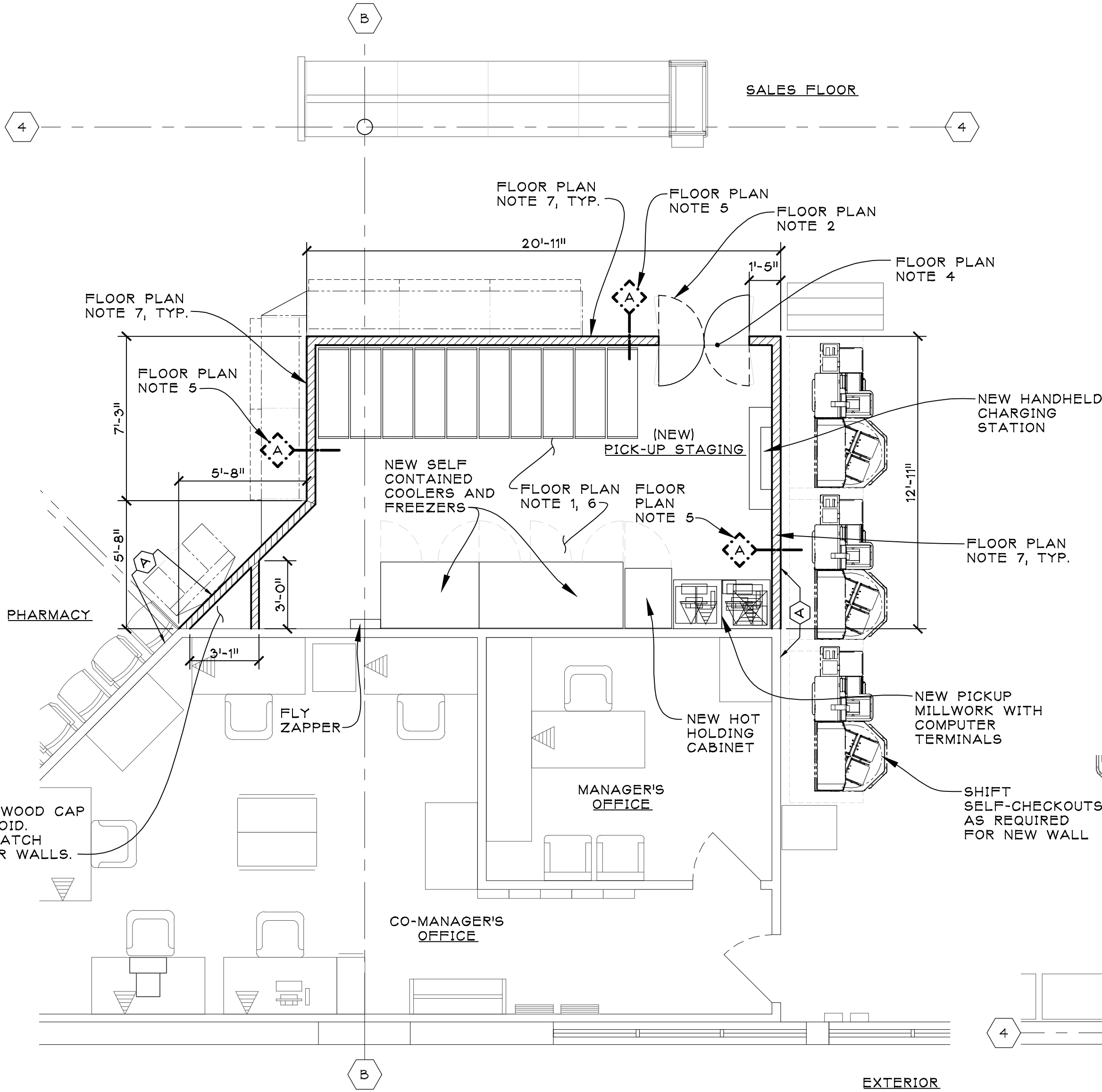
FLOOR PLAN NOTES:

- EXISTING LIGHTING TO REMAIN. MODIFY OR RELOCATE LIGHT FIXTURES AS NEEDED FOR NEW WALL CONFIGURATION. EXISTING HVAC GRILLES/DIFFUSERS TO REMAIN, RELOCATE AS NEEDED. EXISTING SPRINKLER SYSTEM TO REMAIN, REWORK AS NEEDED.
- NEW 4'X7' DOUBLE ACTING ELIASON IMPACT DOOR WITH ACRYLIC WINDOW IN NEW STEEL FRAME. DOOR AND FRAME PAINTED PER DECOR STANDARDS.
- NEW EXTERIOR SURFACE MOUNTED DURA-GLIDE 2000 SERIES, SINGLE SLIDE EXTERIOR AUTOMATIC DOOR PACKAGE BY STANLEY ACCESS TECHNOLOGIES WITH TEMPERED GLAZING. SEE KROGER PICKUP DOOR PACKAGE FOR DETAILS. PROVIDE PANIC HARDWARE TO MAINTAIN DOOR AS CUSTOMER EMERGENCY EGRESS.
- NEW VINYL/RUBBER TRANSITION STRIP AT CONCRETE TO VOT TRANSITION, COLOR TO MATCH SALES FLOOR WALL BASE.
- NEW 2X4 METAL STUD WALL, 9'-0" HIGH. SALES FLOOR SIDE TO RECEIVE 1/2" GYPSUM BOARD PAINTED TO MATCH ADJACENT. PICKUP SIDE TO RECEIVE 1/2" PLYWOOD FROM 0' TO 4'-0" A.F.F. AND 1/2" GYPSUM BOARD PAINTED WHITE FROM 4'-0" TO TOP OF WALL. SEE PARTITION TYPE A.
- PICK-UP STAGING FINISHES
 - FLOOR: EXPOSED SEALED CONCRETE
 - WALL BASE: JOINT SEALANT
 - WALL: NEW WALL TO BE 9'-0" HIGH. WALL SHEATHING FROM 0' TO 4'-0" TO BE 1/2" PLYWOOD, 4'-0" TO CEILING TO BE 1/2" GYPSUM BOARD, PAINTED WHITE.
 - CEILING: EXISTING EXPOSED STRUCTURE TO REMAIN
- SALES FLOOR FINISHES AT NEW WALLS
 - FLOOR: PATCH EXISTING FLOOR TO REMAIN
 - WALL BASE: VINYL WALL BASE TO MATCH EXISTING.
 - WALL: WAINSCOT, WALL BUMPER, AND PAINT TO MATCH EXISTING.
 - CEILING: EXISTING EXPOSED STRUCTURE TO REMAIN



DEMOLITION NOTES:

- DEMO PLANS ARE FOR REFERENCE ONLY. ACTUAL CONDITIONS AND EXTENT OF DEMOLITION REQUIRED FOR NEW CONFIGURATION AND CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMISSION OF BIDS AND/OR START OF WORK.
- REMOVE EXISTING CONSTRUCTION WHERE SHOWN DASHED AND INDICATED AND/OR AS REQUIRED TO FACILITATE NEW WORK. PATCH/REPAIR ALL AREAS WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT. PREP FOR NEW CONSTRUCTION AND FINISHES. G.C. TO PROVIDE ALL DEMOLITION WORK REQUIRED FOR NEW CONFIGURATIONS, FINISHES, & FIXTURES.
- ALL TEMPORARY SHORING, BRACING, ETC., AND MAINTENANCE REQUIRED FOR COMPLETION OF DEMOLITION WORK SHALL BE PROVIDED BY DEMOLITION CONTRACTOR. INCLUDES: TEMPORARY RELOCATION AND RECONNECTION OF FIXTURES REQUIRED TO MAINTAIN STANDARD STORE OPERATION.
- DEMOLITION CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRIERS, BARRICADES AND PROTECTIONS REQUIRED TO INSURE PROTECTION OF CUSTOMERS, EMPLOYEES, WORKERS, AND GENERAL PUBLIC DURING ALL PHASES OF WORK.
- PATCH AND REPAIR SLAB AS REQUIRED TO PROVIDE SMOOTH CONCRETE FLOOR & FLOOR FINISH.
- REMOVE EXISTING MILLWORK, FIXTURES, AND EQUIPMENT. COORDINATE WITH KROGER PROJECT MANAGER FOR FIXTURES TO BE RELOCATED AND/OR SALVAGED. PATCH WALLS WHERE DEMOLITION HAS OCCURRED AS REQUIRED.
- EXISTING STOREFRONT DOOR & HARDWARE TO BE REMOVED.
- REMOVE DECOR TRACK LIGHTING. MODIFY EXISTING LIGHT FIXTURES AS REQUIRED. SEE ELECTRICAL DEMOLITION NOTES ON E1.3 FOR MORE INFORMATION.
- REMOVE EXISTING FLOOR FINISH AND ASSOCIATED ADHESIVES COMPLETE.
- REMOVE EXISTING WALL FINISHES DOWN TO GYPSUM BOARD, PREP WALL FOR NEW FINISHES. REPLACE GYPSUM BOARD DAMAGED BY DEMOLITION, UNLESS NOTED OTHERWISE.
- REMOVE GYPSUM BOARD WALL SHEATHING FROM 0' TO 4'-0" A.F.F. ON PICKUP STAGING SIDE OF EXISTING WALLS. INDICATED TO REMAIN. PREP FOR NEW WALL SHEATHING.

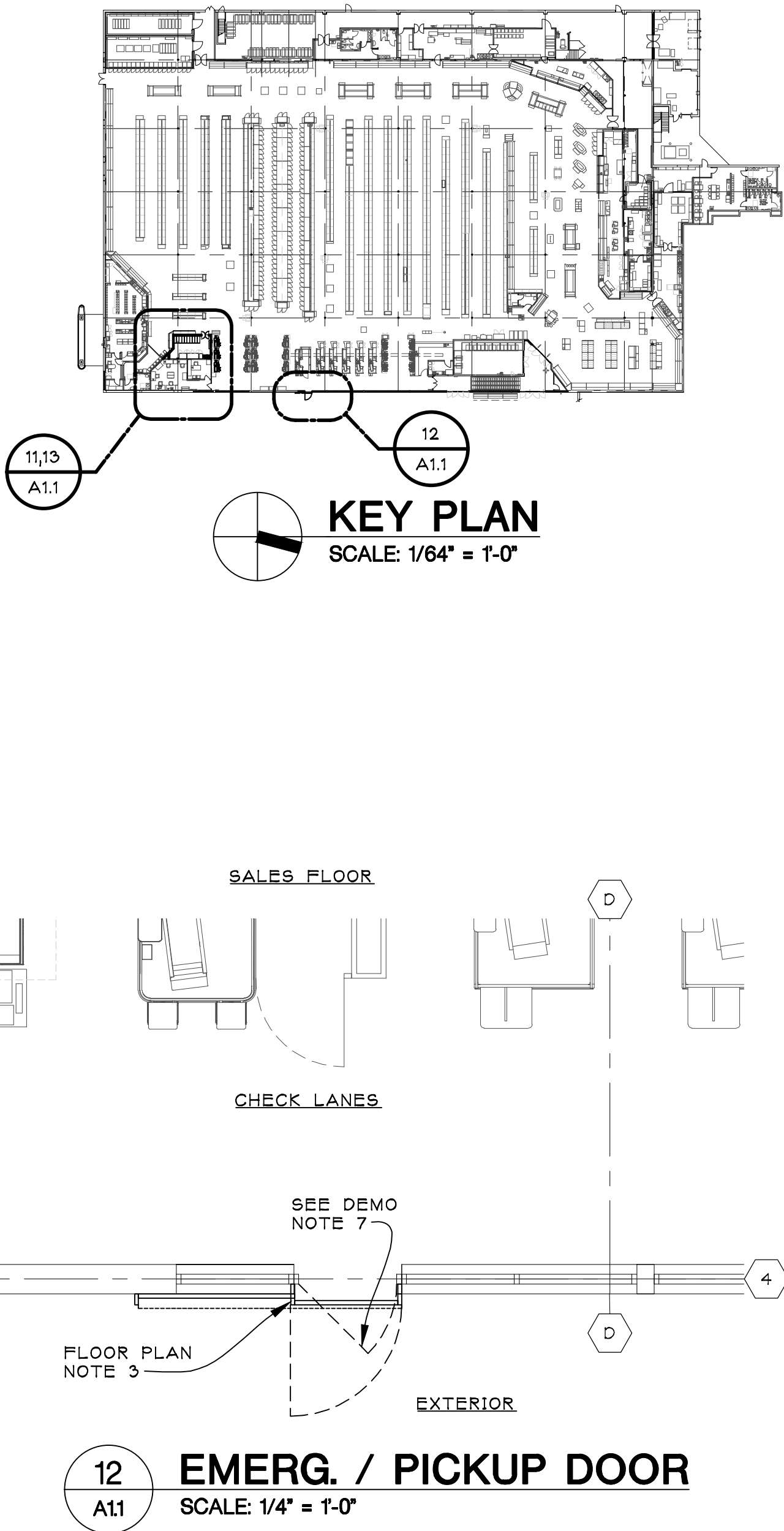


FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- COORDINATE DEMOLITION/CONSTRUCTION WORK WITH MECHANICAL AND ELECTRICAL DRAWINGS AND THE PROJECT MANAGER. COORDINATE ALL DEMOLITION/CONSTRUCTION IN PARKING AND DRIVE AREAS OF THE SITE. PROVIDE TEMPORARY BARRICADES AND PROTECTIONS FOR ALL SITE WORK.
- THIS STORE WILL REMAIN OPEN FOR BUSINESS DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY DUST PARTITIONS AND BARRICADES DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS. ALL DIMENSIONS ARE CLEAR UNLESS NOTED OTHERWISE.
- ALL DOOR OPENINGS SHALL BE 4" FROM FACE OF ADJACENT PARTITION, UNLESS INDICATED OTHERWISE.
- ALL WOOD STUDS, FURRING, BLOCKING, FRAMING AND PLYWOOD SHEATHING SHALL BE FIRE RETARDANT PRESSURE TREATED.
- ALL MATERIAL SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. CONTRACTORS TO PROVIDE ALL WARRANTIES AND MATERIALS DURING INSTALLATION.
- THIS PROJECT CONTAINS AN EXISTING COMPLETE FIRE PROTECTION SPRINKLER SYSTEM. EXTEND AND MODIFY EXISTING SYSTEM AS REQUIRED FOR NEW CONFIGURATION.
- PARTITIONS TO BOTTOM OF DECK OR JOIST AND PARTITIONS WITH RECESSED EQUIPMENT (ELECTRIC PANELS, FLY GRIDS, ETC.) OR PLUMBING FIXTURES SHALL BE 6" METAL STUDS.
- PROVIDE BACKER ROD AND SEALANT BETWEEN WALL AND INSULATED PANEL. SEALANT TO MATCH COOLER WALL, FOR 1" SPACE OR LESS.
- PROVIDE WOOD BLOCKING (INSERTED IN METAL STUDS) IN PARTITION FOR SHELVING BRACKET SUPPORT (6'-0" TO 9'-0") AND OTHER MISCELLANEOUS FIXTURES AND SHELVING AS REQUIRED. PATCH/REPAIR WALL & FINISHES AS REQUIRED WHEN ADDING BLOCKING TO EXISTING WALLS.



KEY PLAN

SCALE: 1/64" = 1'-0"

EMERG. / PICKUP DOOR

SCALE: 1/4" = 1'-0"

issued for: **PERMITS** 10-01-2019

PROPOSED GROCERY PICKUP FOR:

Kroger

STORE NO. D-447

23101 JOHN R ROAD
HAZEL PARK, MI 48030

THE KROGER CO. OF MICHIGAN

jeffery a. scott architects p.c.

32316 grand river ave. suite 200
farmington, michigan 48336-3261
(248) 476-8800 fax (248) 476-8833

DEMOLITION & FLOOR PLANS

project no. 19030.05 sheet no. A11

copyright © 2019