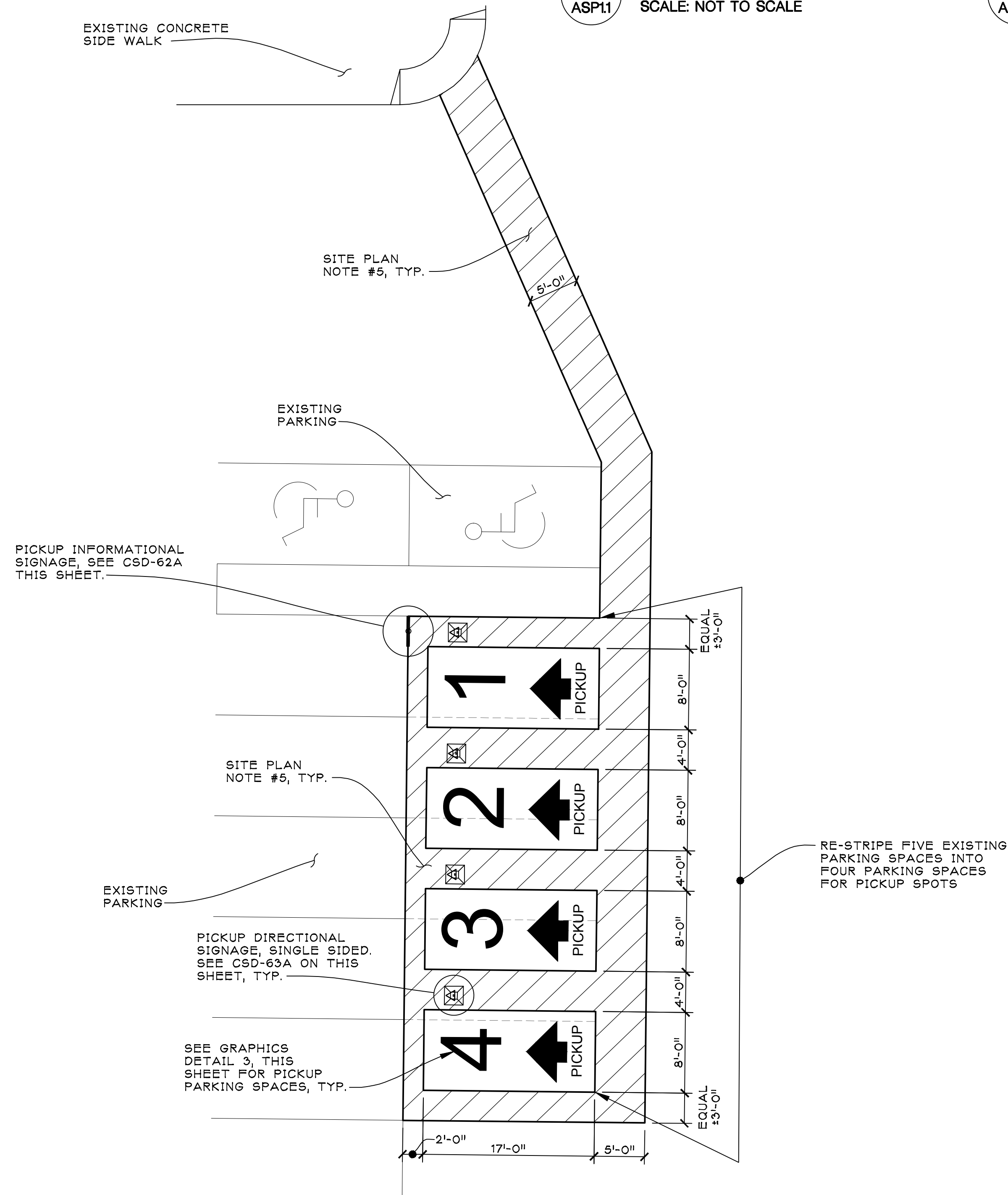
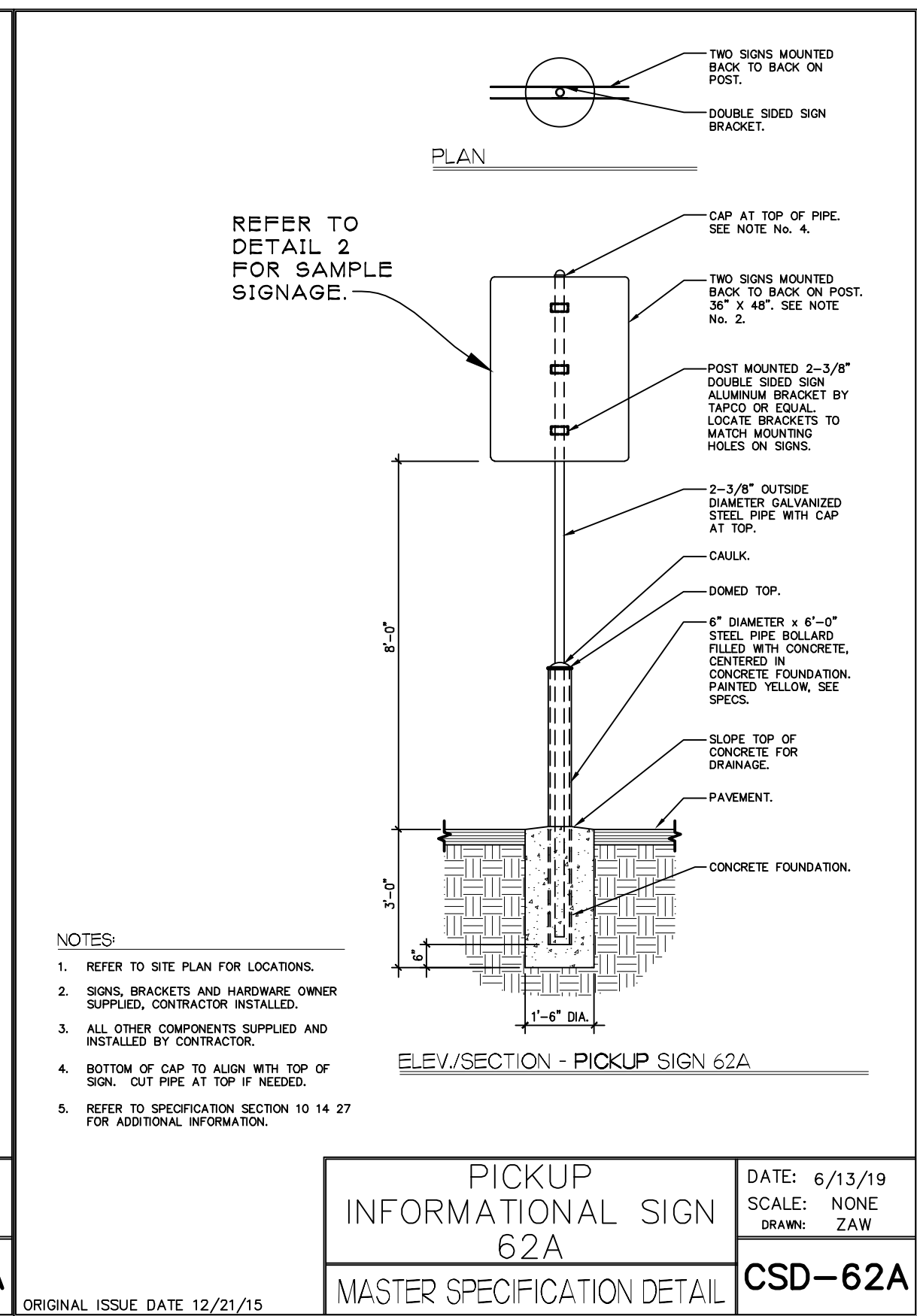
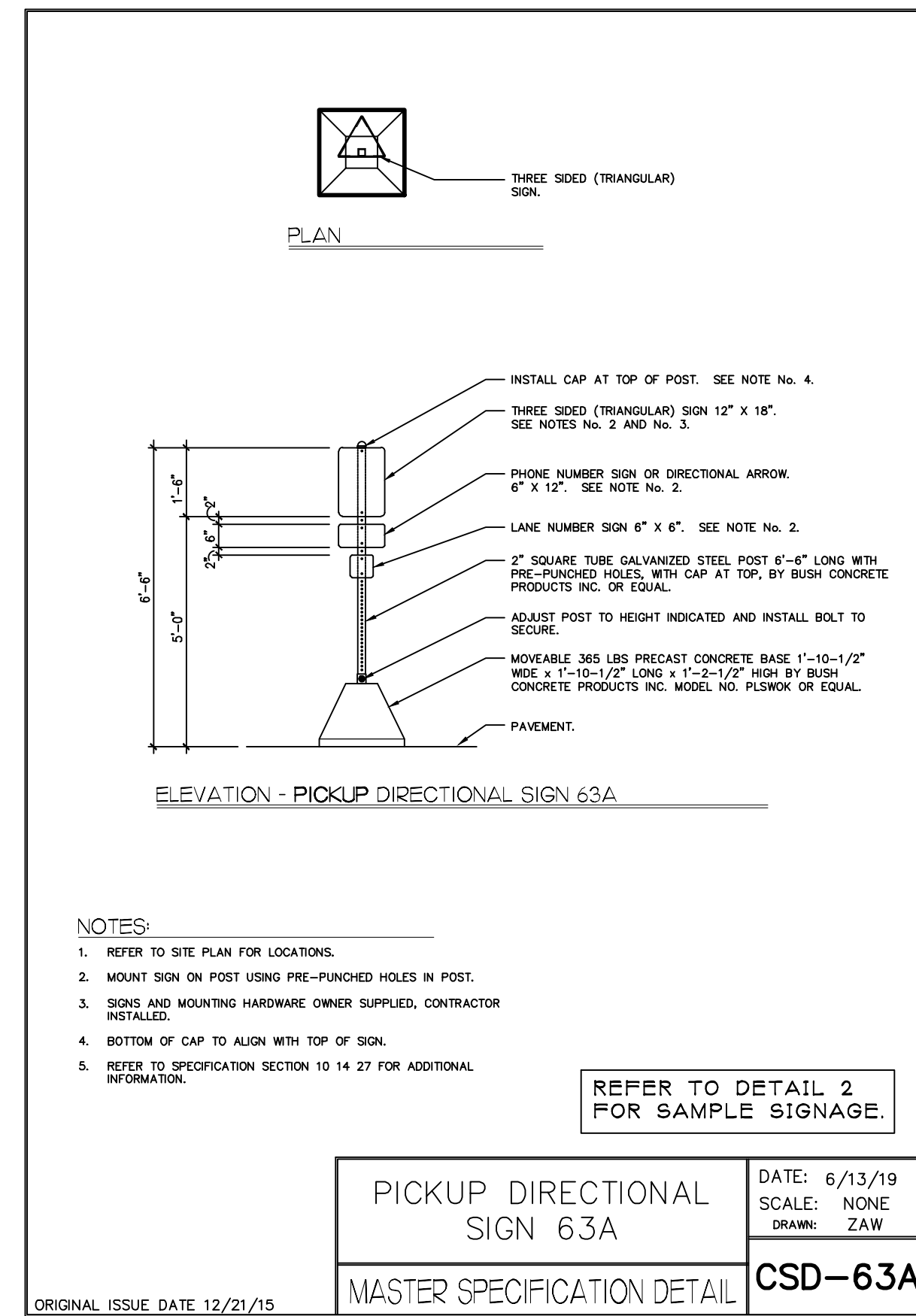


3
ASP11
PARKING SPACE GRAPHIC DETAIL
SCALE: NOT TO SCALE

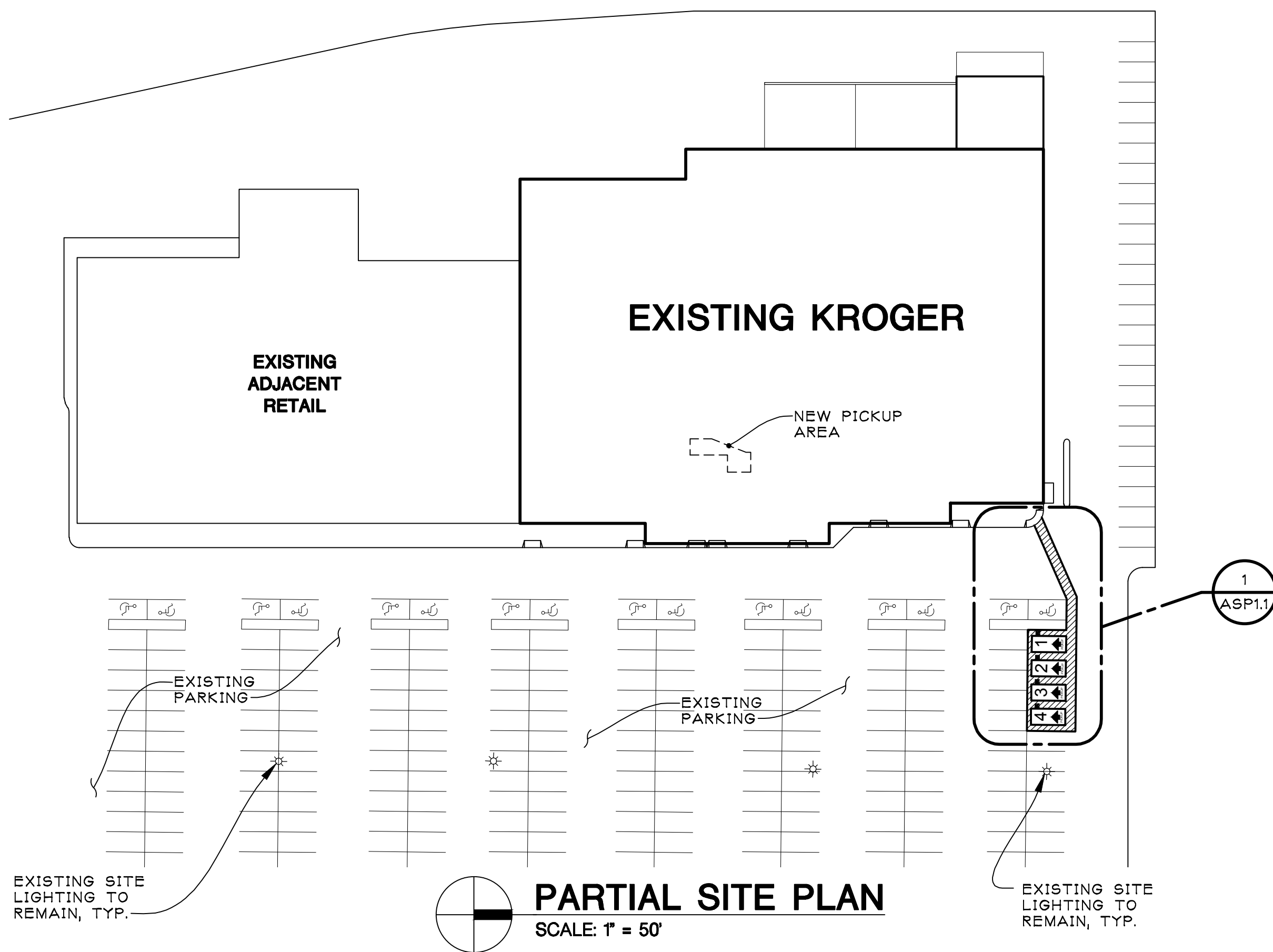
Part Number	Emedco Part #	Components	Preview
62A	KRG62A-R1	Qty 2 - 48" X 36" signs Qty 1 - double sided sign bracket	
63A	KRG63A-R1	Qty 3 - 18" X 12" Signs Qty 1 - 3 way sign mounting Bracket Qty 1 - Phone Number Sign 6" X 12" Qty 1 - Lane Number Sign 6" X 6" Qty 6 - 3" Sign Mounting Bolt Sets Qty 4 - 1" Sign Mounting Bolt Sets	

2
ASP11
SITE SIGNAGE DETAIL
SCALE: NOT TO SCALE

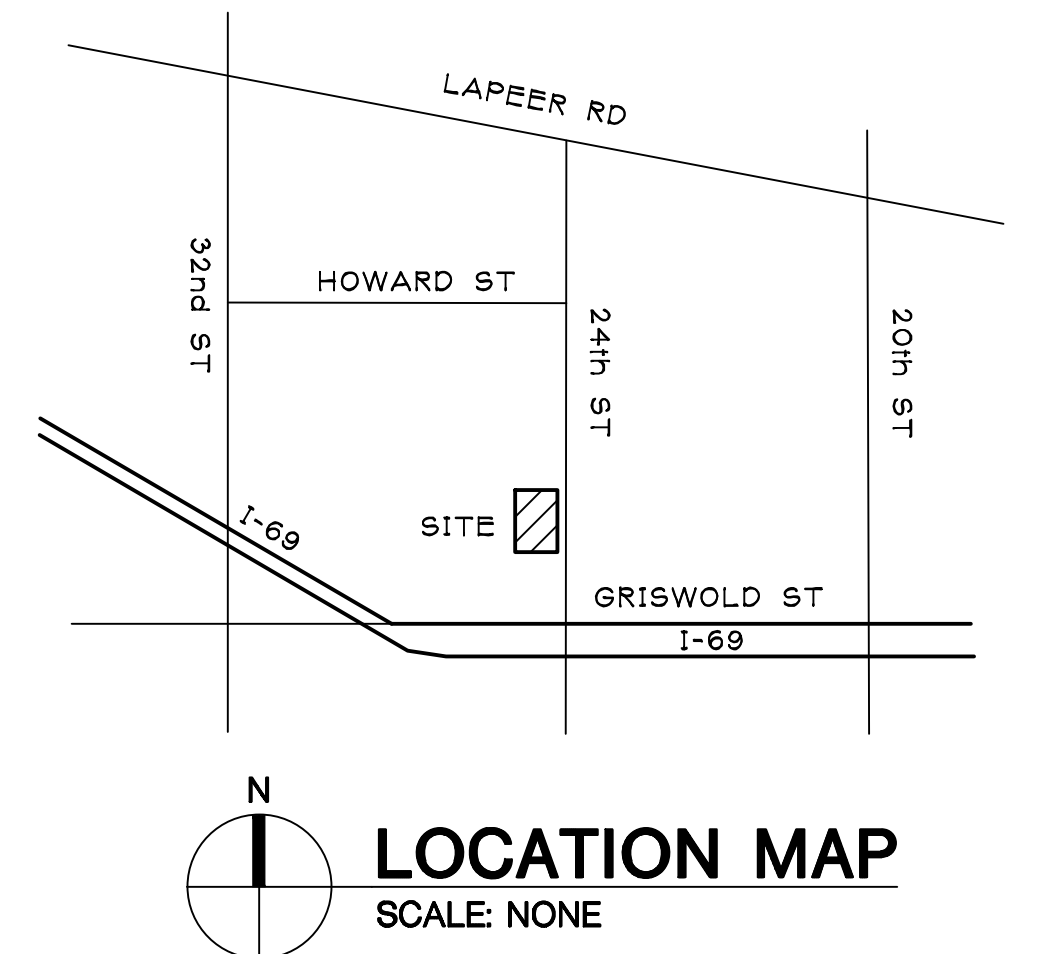


1
ASP11
ENLARGED PICKUP PARKING PLAN
SCALE: 1/8" = 1'-0"

- SITE PLAN NOTES:**
- ARCHITECTURAL SITE PLAN IS BASED OFF OF INFORMATION AND DRAWINGS PROVIDED BY THE OWNER.
 - EXISTING LANDSCAPING TO REMAIN.
 - EXISTING SITE LIGHTING TO REMAIN.
 - EXISTING SITE AND BUILDING SIGNAGE TO REMAIN. NEW PICKUP SIGN AS INDICATED.
 - USE YELLOW (PREFERRED OR WHITE TO MATCH EXISTING PARKING LOT) REFLECTIVE PAINT MARKINGS TO DENOTE THE WAITING AREAS, PICKUP AREAS, WALKWAYS AND ENTRANCES FOR PICKUP LOCATIONS.
 - COORDINATE FINAL GRAPHICS AND LOCATION OF PICKUP SIGNS WITH KROGER PROJECT MANAGER.



PARTIAL SITE PLAN
SCALE: 1" = 50'



issued for: **PERMITS** 12-03-2019

PROPOSED GROCERY PICKUP FOR:

STORE NO. D-715
STADIUM CENTER
1215 24TH ST
PORT HURON, MI 48060
THE KROGER CO. OF MICHIGAN

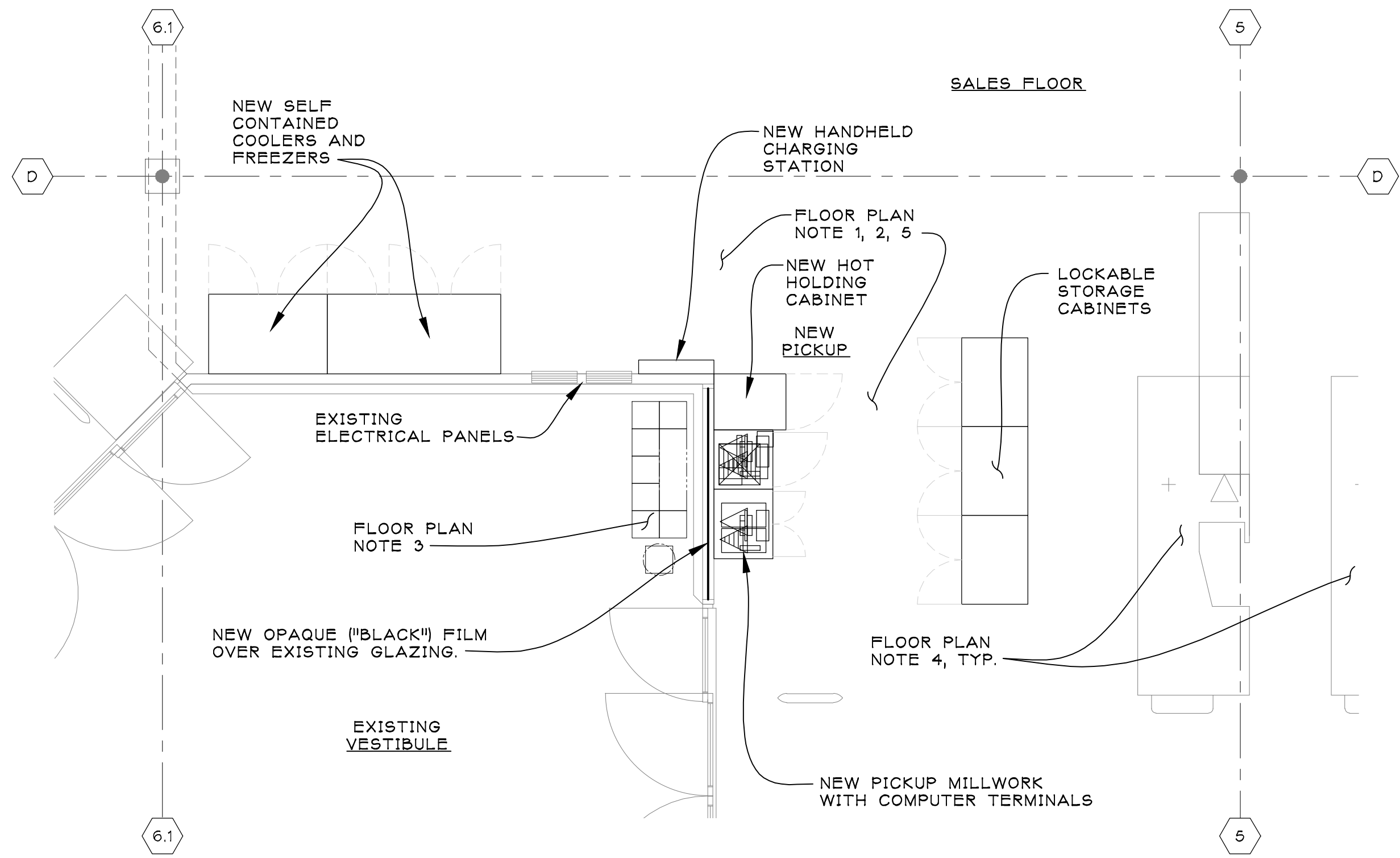
jeffery a. scott architects p.c.

32316 grand river ave. suite 200
farmington, michigan 48336-3261
(248) 476-8800 fax (248) 476-8833

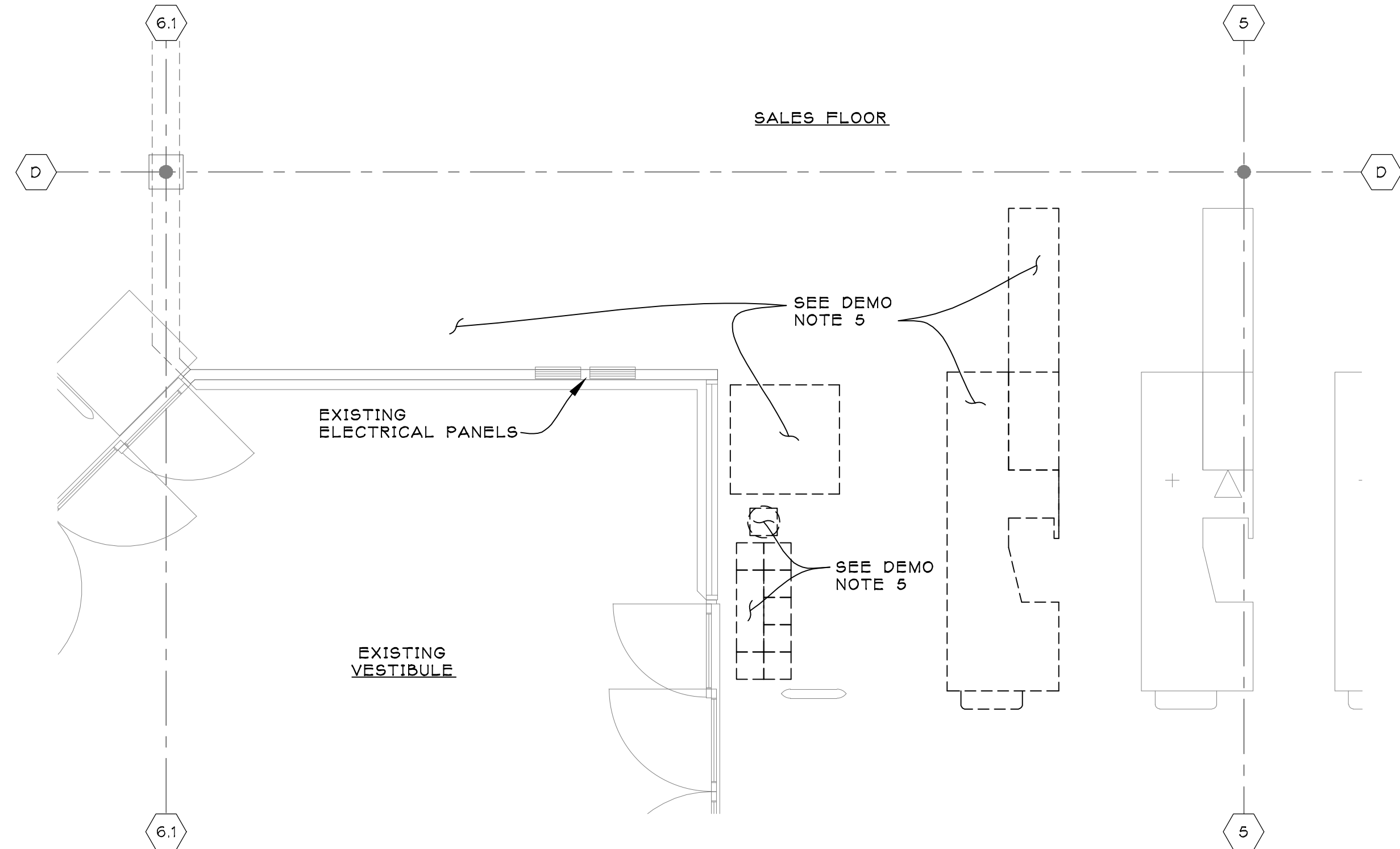
ARCHITECTURAL SITE PLAN

project no. 19030.12 sheet no. ASP1.1

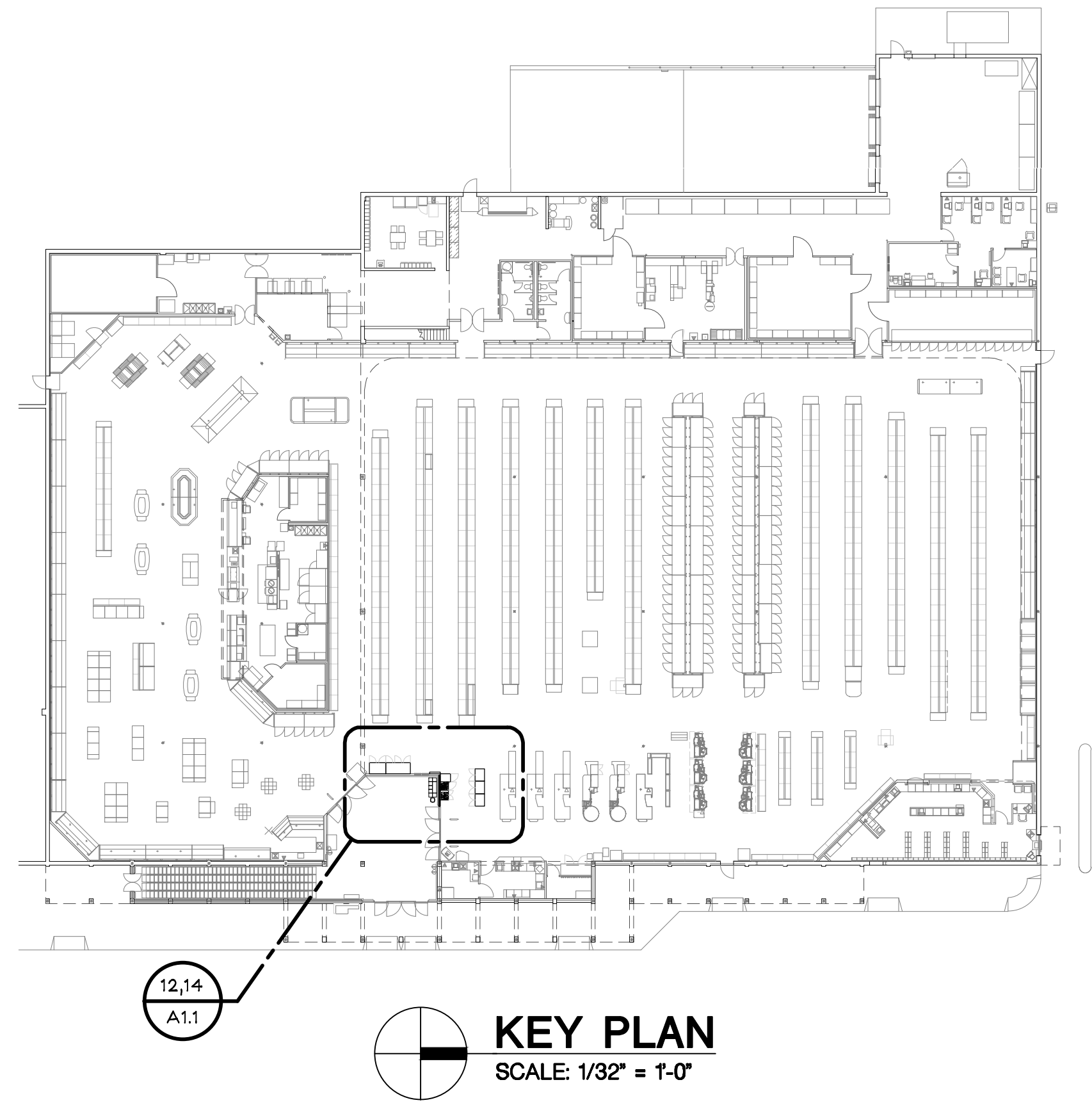
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14
A11
FLOOR PLAN
SCALE: 1/4" = 1'-0"



12
A11
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN NOTES

- EXISTING FLOORING TO REMAIN.
- EXISTING WALLS TO REMAIN.
- RELOCATE EXISTING VENDING / GUMBALL MACHINES INTO THE VESTIBULE OR AS DIRECTED BY THE KROGER PROJECT MANAGER.
- MODIFY THE NUMBERS ON THE CHECKLANES TO MAKE-UP FOR THE REMOVAL OF THE CHECKLANE AT LANE # "1".
- PICKUP AREA FINISHES
 - FLOOR: EXISTING SALES FLOOR TO REMAIN
 - WALL: EXISTING SALES FLOOR WALLS TO REMAIN.
 - CEILING: EXISTING SALES FLOOR CEILING AND LIGHTING TO REMAIN.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- COORDINATE DEMOLITION/CONSTRUCTION WORK WITH MECHANICAL AND ELECTRICAL DRAWINGS AND THE PROJECT MANAGER. COORDINATE ALL DEMOLITION/CONSTRUCTION IN PARKING AND DRIVE AREAS OF THE SITE. PROVIDE TEMPORARY BARRICADES AND PROTECTIONS FOR ALL SITE WORK.
- THIS STORE WILL REMAIN OPEN FOR BUSINESS DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY DUST PARTITIONS AND BARRICADES DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- FIELD VERIFY ALL DIMENSIONS. ALL DIMENSIONS ARE CLEAR UNLESS NOTED OTHERWISE.
- ALL WOOD STUDS, FURRING, BLOCKING, FRAMING AND PLYWOOD SHEATHING SHALL BE FIRE RETARDANT PRESSURE TREATED.
- ALL MATERIAL SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. CONTRACTORS TO PROVIDE ALL WARRANTIES AND MATERIALS DURING INSTALLATION.
- THIS PROJECT CONTAINS AN EXISTING COMPLETE FIRE PROTECTION SPRINKLER SYSTEM. EXTEND AND MODIFY EXISTING SYSTEM AS REQUIRED FOR NEW CONFIGURATION.
- PROVIDE WOOD BLOCKING (INSERTED IN METAL STUDS) IN PARTITION FOR FIXTURES AND SHELVING AS REQUIRED. PATCH/REPAIR WALL & FINISHES AS REQUIRED WHEN ADDING BLOCKING TO EXISTING WALLS.

DEMOLITION NOTES:

- DEMO PLANS ARE FOR REFERENCE ONLY. ACTUAL CONDITIONS AND EXTENT OF DEMOLITION REQUIRED FOR NEW CONFIGURATION AND CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMISSION OF BIDS AND/OR START OF WORK.
- REMOVE EXISTING CONSTRUCTION WHERE SHOWN DASHED AND INDICATED AND/OR AS REQUIRED TO FACILITATE NEW WORK. PATCH/REPAIR ALL AREAS WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT. PREP FOR NEW CONSTRUCTION AND FINISHES. G.C. TO PROVIDE ALL DEMOLITION WORK REQUIRED FOR NEW CONFIGURATIONS, FINISHES, & FIXTURES.
- ALL TEMPORARY SHORING, BRACING, ETC., AND MAINTENANCE REQUIRED FOR COMPLETION OF DEMOLITION WORK SHALL BE PROVIDED BY DEMOLITION CONTRACTOR. INCLUDES: TEMPORARY RELOCATION AND RECONNECTION OF FIXTURES REQUIRED TO MAINTAIN STANDARD STORE OPERATION.
- DEMOLITION CONTRACTOR SHALL PROVIDE ALL TEMPORARY BARRIERS, BARRICADES AND PROTECTIONS REQUIRED TO INSURE PROTECTION OF CUSTOMERS, EMPLOYEES, WORKERS, AND GENERAL PUBLIC DURING ALL PHASES OF WORK.
- REMOVE EXISTING FIXTURES, AND EQUIPMENT. COORDINATE WITH KROGER PROJECT MANAGER FOR FIXTURES TO BE RELOCATED AND/OR SALVAGED. PATCH FLOOR & WALLS WHERE DEMOLITION HAS OCCURRED AS REQUIRED.

issued for: PERMITS 10-11-2019

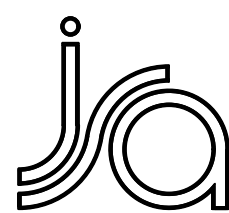
PROPOSED GROCERY PICKUP FOR:



STORE NO. D-715

STADIUM CENTER
1215 24TH ST
PORT HURON, MI 48060

THE KROGER CO. OF MICHIGAN



jeffery a.
scott
architects p.c.

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farmington, michigan 48336-3261
(248) 476-8800 fax (248) 476-8833





DEMOLITION & FLOOR PLANS

project no. sheet no.

19030.12

A11



 DEMOLISHED FIXTURES
 EXISTING FIXTURES
 RELOCATED FIXTURES
 NEW FIXTURES

- FOR REFERENCE ONLY -
NOT FOR CONSTRUCTION

[illegible]

D-715
1215 24TH STREET
PORT HURON, MI

MICHIGAN
(EXIST) FLAGSHIP/SCRIPT

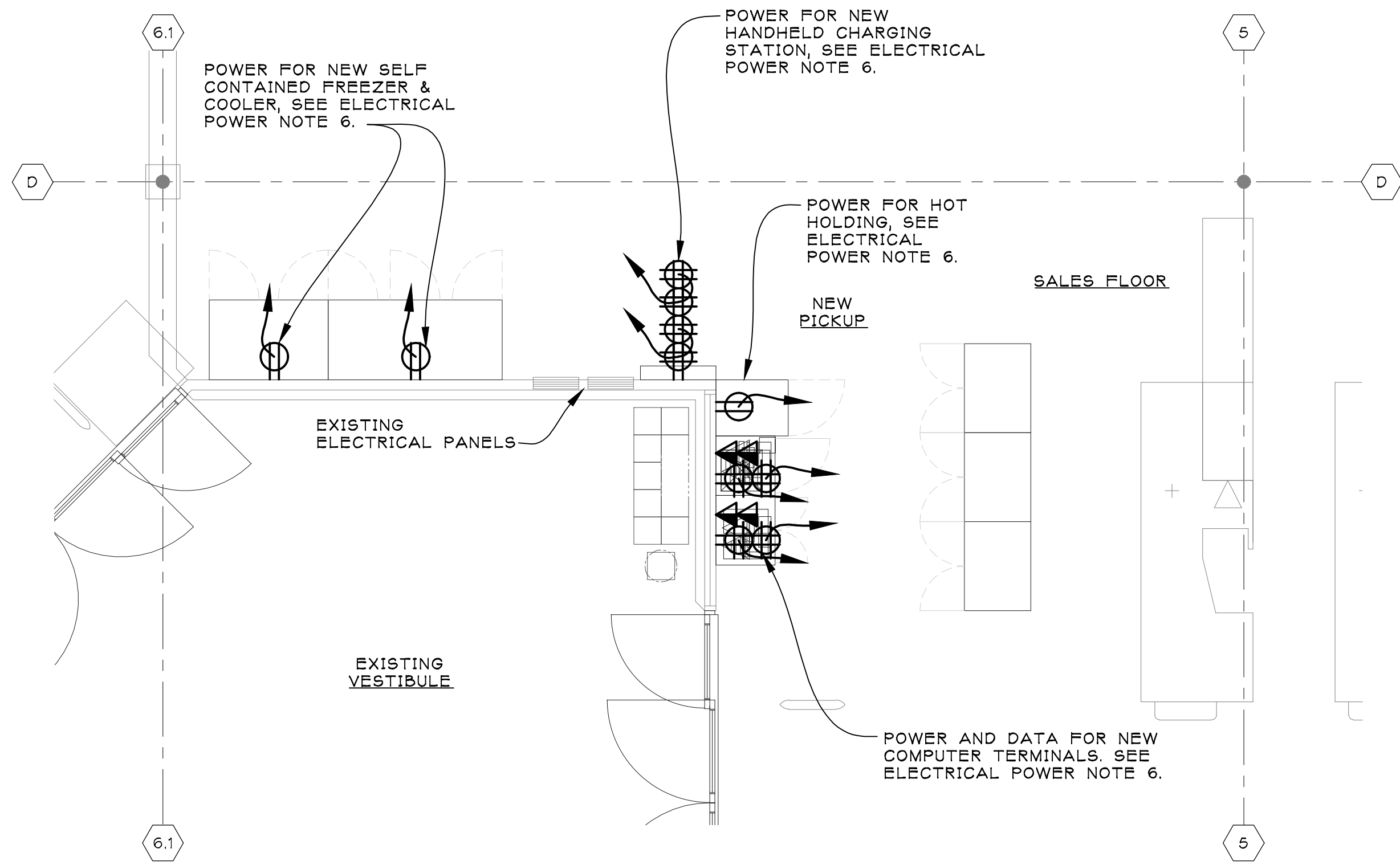
**GENERAL OFFICE
FACILITY ENGINEERING**
1204 WINE ST., CINCINNATI, OHIO 45202
TEL (513) 762-4467 FAX (513) 762-4468

FAX:(248) 957-2255

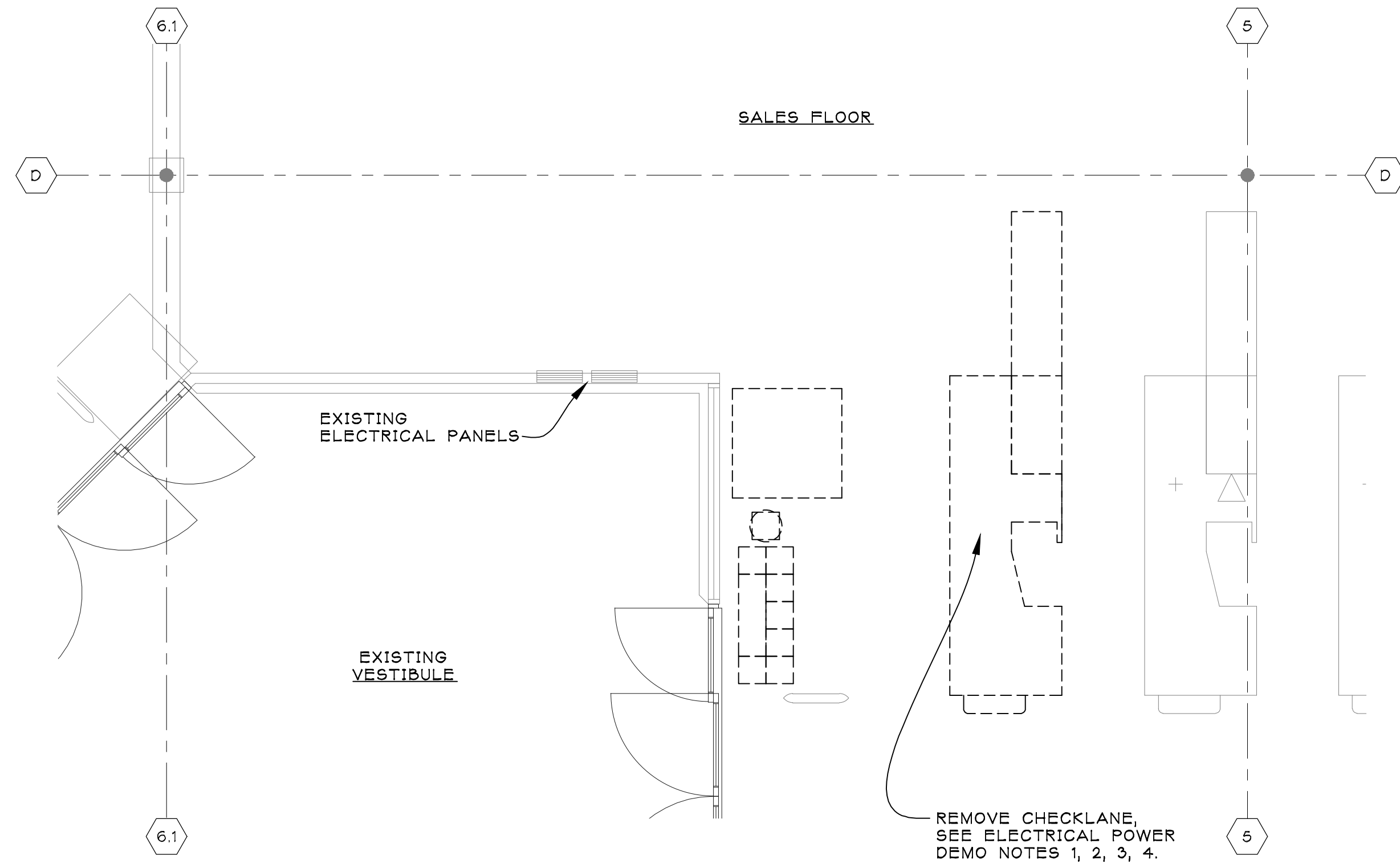
PHONE: (248) 957-2254

104 WINE ST, CINCINNATI, OHIO 45202
 TEL: (513) 762-4407 FAX: (513) 762-4032

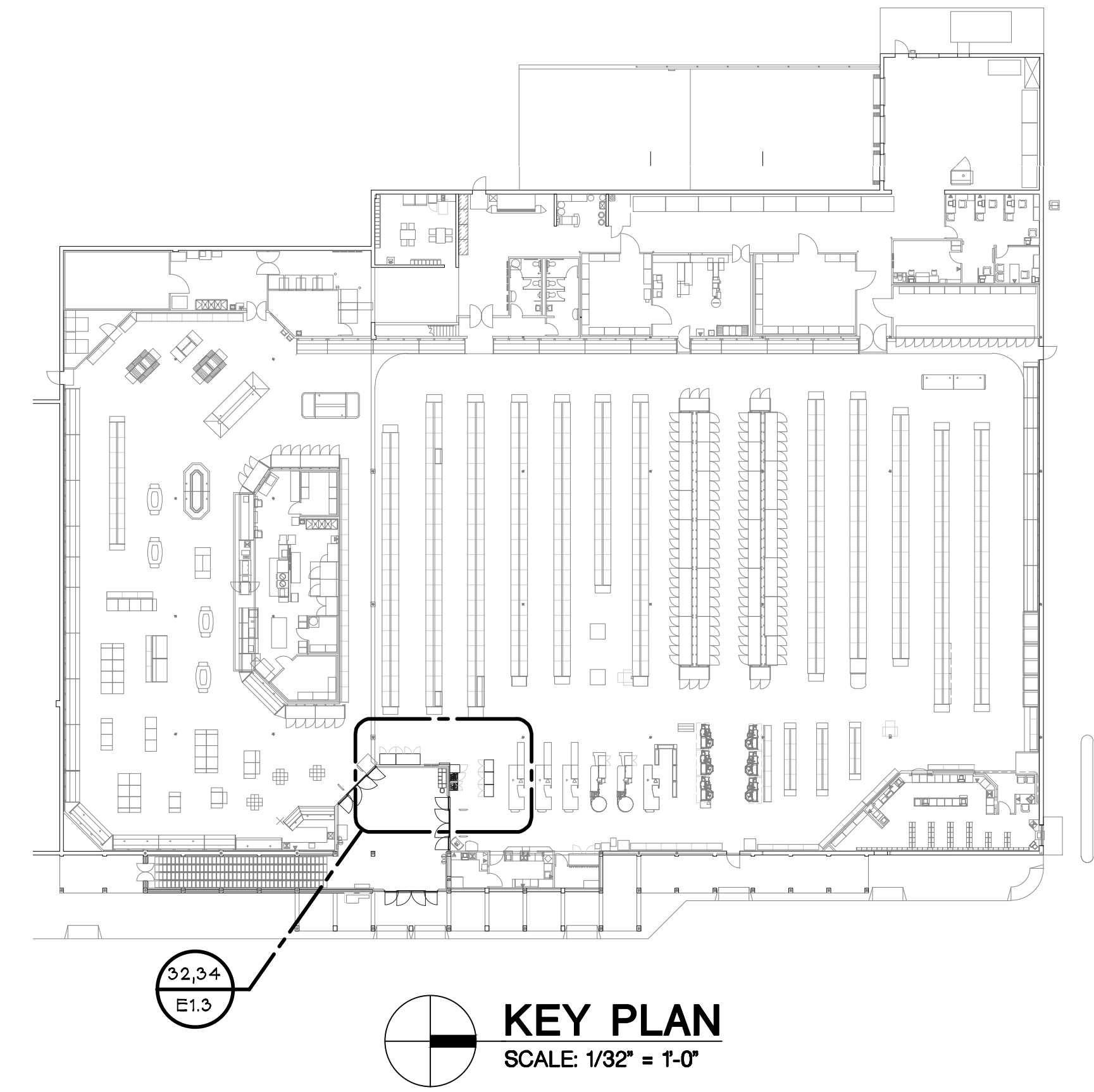
NOTE: THIS DRAWING IS INTENDED ONLY TO SHOW THE REQUIREMENTS OF THE KROGER CO. THE DESIGN OF THE BUILDING TO CONFORM TO ALL APPLICABLE LAWS, CODES, REGULATIONS, ORDINANCES AND APPROVAL OF THE INSPECTION AUTHORITIES HAVING



34
E13 **PARTIAL ELECTRICAL POWER PLAN**
SCALE: 1/4" = 1'-0"



32
E13 **PARTIAL ELECTRICAL POWER DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"



ELECTRICAL POWER NOTES:

1. COORDINATE SCHEDULING WITH KROGER PROJECT MANGER TO PERMIT KROGER TO CONDUCT NORMAL BUSINESS OPERATIONS DURING CONSTRUCTION.
2. REUSE EXISTING BRANCH CIRCUITS MADE AVAILABLE BY DEMOLITION WHERE PRACTICAL UNLESS NOTED OTHERWISE. EXTEND EXISTING WIRING METHODS AS REQUIRED TO ACCOMMODATE NEW EQUIPMENT LOCATIONS. PROVIDE ADJUSTMENTS OR ADDITIONAL BRANCH CIRCUITS AS REQUIRED FROM NEAREST SUITABLE PANELBOARD. ROUTE NEW RACEWAYS BY MOST PRACTICAL CONCEALED MEANS AVAILABLE UNLESS NOTED OTHERWISE. DO NOT INSTALL RACEWAYS OR SAWCUT WITHOUT THE CONSENT OF THE KROGER PROJECT MANAGER.
3. UPDATE ALL LABELS AND DIRECTORIES FOR BRANCH CIRCUITS AFFECTED BY NEW CONSTRUCTION. HANDWRITTEN IDENTIFICATION SHALL NOT BE ACCEPTABLE.
4. COORDINATE EXACT DEVICE LOCATIONS WITH KROGER PROJECT MANAGER BEFORE ROUGH-IN.
5. CONDUIT AND WIRE SIZES INDICATED ARE MINIMUM REQUIREMENTS.
6. PROVIDE MINIMUM 3/4"C, 2#10-1#10GND TO NEW OR SPARE 20/1 CB IN EXISTING NEAREST SUITABLE PANELBOARD.

ELECTRICAL POWER DEMO NOTES:

1. REMOVE EXISTING ELECTRICAL WORK AS REQUIRED TO ACCOMMODATE NEW WORK.
2. REMOVE EXISTING ELECTRICAL WORK FROM FLOOR AND/OR POWER POLE AS REQUIRED.
3. REMOVE EXISTING ELECTRICAL WORK, ASSOCIATED WITH DEMOLISHED FIXTURES, ABOVE THE EXISTING SUSPENDED CEILINGS.
4. REMOVE ANY EXISTING ABANDONED ELECTRICAL WORK ABOVE THE EXISTING SUSPENDED CEILINGS.

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ELECTRICAL PLANS AND NOTES		
project no.	sheet no.	
19030.12	E13	